

# Cafes & Restaurants

## Who should read this guide?

Anyone who wishes who is considering starting a new café or restaurant.

## Selecting the Right Location

*Adelaide (City) Development Plan* divides the City into 20 separate zones. Each zone lists the types of development that are considered to be appropriate.

As a general rule, cafés and restaurants are considered appropriate in the following areas:

### North Adelaide

- Main Street (O'Connell) Zone
- Main Street (Melbourne East) Zone
- Mixed Use (Melbourne West) Zone

### Adelaide City

- Capital City Zone, in particular including Hindley Street, Rundle Mall, Victoria Square and the northern portion of King William Street, Gouger Street, Hindmarsh & Light Square
- Riverbank Zone
- Main Street (Hutt) Zone
- Main Street (Adelaide) Zone
- City Frame Zone
- City Living Zone on Wakefield Street, South Terrace, Sturt Street & South Central Policy Area 30
- Institutional (St Andrew's) Zone

New cafés or restaurants are generally not encouraged within the southern residential area of the City and the residential parts of North Adelaide.

If you are considering a site within these areas it is advisable to contact Council to discuss your proposal.

If you are thinking about opening at night, then you should be aware of where your closest residential neighbour is. If there are residential properties nearby, you may be asked to organise an acoustic engineer to review your site and provide advice about how you can limit the impacts noise. If an acoustic report is necessary, Council staff will discuss this with you during the assessment of your application. You will also need to consider how to limit odour from cooking.

## Selecting the Right Building

When looking for a potential tenancy or building you should keep the following in mind:

- Is there sufficient room for storing waste, including empty bottles, food scraps and cardboard and is the area easily accessible for waste collection?
- Can disabled customers access the dining area? Is the kitchen area large enough for your needs and does it contain sufficient food preparation areas as well as separate sinks for dishes, food preparation and hand washing?
- If no kitchen area exists, is there sufficient room for one of the right size; and are gas, electricity, water and drainage provided where needed?
- How many toilets are provided and is there a disabled toilet easily accessible from the dining area?
- Will you be able to fit the number of tables and chairs into the dining area for the number of customers that you would like to serve?
- Does the kitchen, or area where it will go, have sufficient ventilation and a grease trap?
- Are there exit lights, smoke detectors and fire extinguishers in place and when was the last time they were serviced?
- Does the landlord or real estate agent have current plans of the building?

Council staff can provide advice on the basic requirements for a building and, if time permits, may be able to visit a site to review its suitability before you lodge your application.

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## Planning Assessment

An assessment against the requirements of the *Adelaide (City) Development Plan* generally considers the following:

- Is the proposal appropriate within the zone and/or area that it is to be located?
- What is the potential impact of any noise or traffic generated from the site?
- Are the proposed opening hours and number of customers suitable for the area?
- What would the proposed external changes or signage look like?
- Will there be any visual or noise impacts from a flue?
- Within the City Frame Zone, the Institutional (St Andrew's) Zone, O'Connell and Melbourne streets, the southern portion of Hutt Street, and in all residential zones, car parking is required to be provided on site at a rate of one space for every three seats provided. If the required amount is not provided then Council staff will have to consider whether this shortfall will affect the surrounding areas.

Applications for sites outside of the Capital City Zone, City Frame, Institutional (St Andrew's) or Main Street Zones will generally have to be notified to the public. This involves Council writing to adjoining properties and allowing time for the public to comment on your proposal.

## Building Assessment

An assessment against the requirements of the Building Code generally considers the following:

- Is the number of toilets provided (for male and female as well as disabled people) suitable for the total area or the number of customers proposed?
- Is appropriate disabled access provided?
- Where and how many emergency exits and exit signs are provided?
- Is sufficient ventilation provided in the kitchen area?

The combination of a Planning Approval and a Building Approval will allow Council to issue your Development Approval. You need to have your Development Approval in writing before any work can begin.

## Outdoor Dining

If you wish to have removable tables and chairs outside your business on the Council footpath, an Outdoor Dining Permit is required.

Whilst Council supports outdoor dining and the activity and colour that it adds to the city, there are some requirements about where it is permitted and how much of the footpath you can use.

Please contact Council's Permits team on **08 8203 7236** or [cityworks@cityofadelaide.com.au](mailto:cityworks@cityofadelaide.com.au) to discuss the specifics of your site. More information, including how to lodge an outdoor dining application online at: [cityofadelaide.com.au/outdoordining](http://cityofadelaide.com.au/outdoordining)

## Food Handling Requirements

If you are preparing or handling food then you will need to speak to an Environmental Health Officer to discuss prescribed food storage and handling requirements. You may also need to discuss the fit-out of your premises to ensure it meets the relevant requirements under the Food Act. Please visit: [cityofadelaide.com.au/food-safety](http://cityofadelaide.com.au/food-safety) or you can contact Council's Environmental Health Officers on **08 8203 7405** or [health@cityofadelaide.com.au](mailto:health@cityofadelaide.com.au)

You may be required to install a grease trap in the kitchen, or possibly upgrade an existing unit. Advice and approvals for grease traps is given by the Trade Waste Section of SA Water at: [www.sawater.com.au/SAWater/YourBusiness/TradeWaste](http://www.sawater.com.au/SAWater/YourBusiness/TradeWaste) or call SA Water on **08 7424 1336**.

## Liquor Licensing

If you are considering serving alcohol then you will need a liquor licence, which is issued by the Consumer and Business Services. Further information or to apply for a liquor licence visit: [www.cbs.sa.gov.au/liquor-and-gambling-licenses](http://www.cbs.sa.gov.au/liquor-and-gambling-licenses) or call **13 18 82**.

## Hours of Operation

Council's Liquor Licensing Policy prescribes the hours of operation for licensed premises within the City and North Adelaide. For a copy of the policy please visit: [cityofadelaide.com.au/liquor-policy](http://cityofadelaide.com.au/liquor-policy)

Advice on liquor licensing matters may be obtained through Council's Liquor Licensing Officer on **08 8203 7672**.

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## Development Application Requirements

After you have found a suitable site, you will need to submit a development application before any work can start. It is advisable to obtain development approval before you have signed a lease on, or a contract to purchase, a property.

**Lodge your Development Application** online at: [cityofadelaide.com.au/da](http://cityofadelaide.com.au/da) with the following:

**A Lodgement fee** is required at the time of lodging your application online. Council will invoice you for any other required fees.

**Signed Powerline Declaration Form**

**Copy of Certificate of Title**

Three copies of the plans showing the following information are required. The plans need to be to scale, of high quality, and show the following information where applicable:

**Site Plan (see overleaf for an example)**

- Detailed site plan showing boundaries of site. Minimum scale 1:200 (1:100 preferred)
- North point
- Number and location of any car parks on the site
- Location of outdoor refuse area

**Floor Plan**

- A detailed floor plan showing the uses of each portion of the building and any building works to be undertaken. Minimum scale 1:200 (1:100 preferred)
- The location of the toilets, exits, waste storage areas, existing or proposed exit signs, smoke detectors and fire extinguishers
- Access details for the building, including the disabled access
- Seating area, including the number of tables and seats
- Kitchen details which include:

- the heat output of the cooking equipment that exists or is to be installed (ovens, fryers, stove tops). This is generally given in megajoules (MJ)
- the location and capacity of any ventilation and flues within the kitchen area
- the kitchen layout, including sinks, hand-washing basins, storage areas etc.

**Elevation Plan (see overleaf for an example)**

- If you propose to alter the outside of the building with, for example, any new doors, windows or signage, then you will need to provide an elevation plan showing how the outside of the building will look.
- If you are installing a flue then you will need to provide an elevation showing the extent of the flue.
- If you are proposing to install new signs then these should be included on the elevations (For further details please see Council's 'Signage' Development Information Guide).

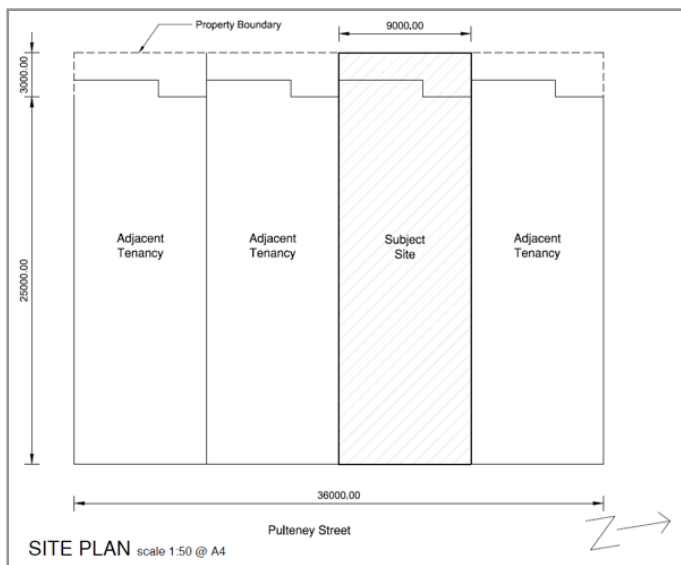
**Written Details**

- A letter detailing the maximum number of patrons, the number of staff and the days and hours that you wish to open
- Details of how rubbish and bottles will be collected, including the frequency and time of the day of the collections

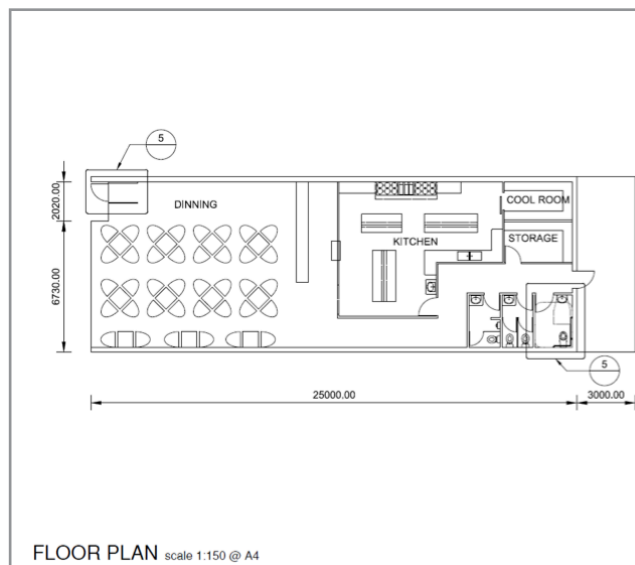
## Further Information

For further information or to discuss your specific requirements, please contact Council's Development Assessment team on **08 8203 7185** or [d.planner@cityofadelaide.com.au](mailto:d.planner@cityofadelaide.com.au).

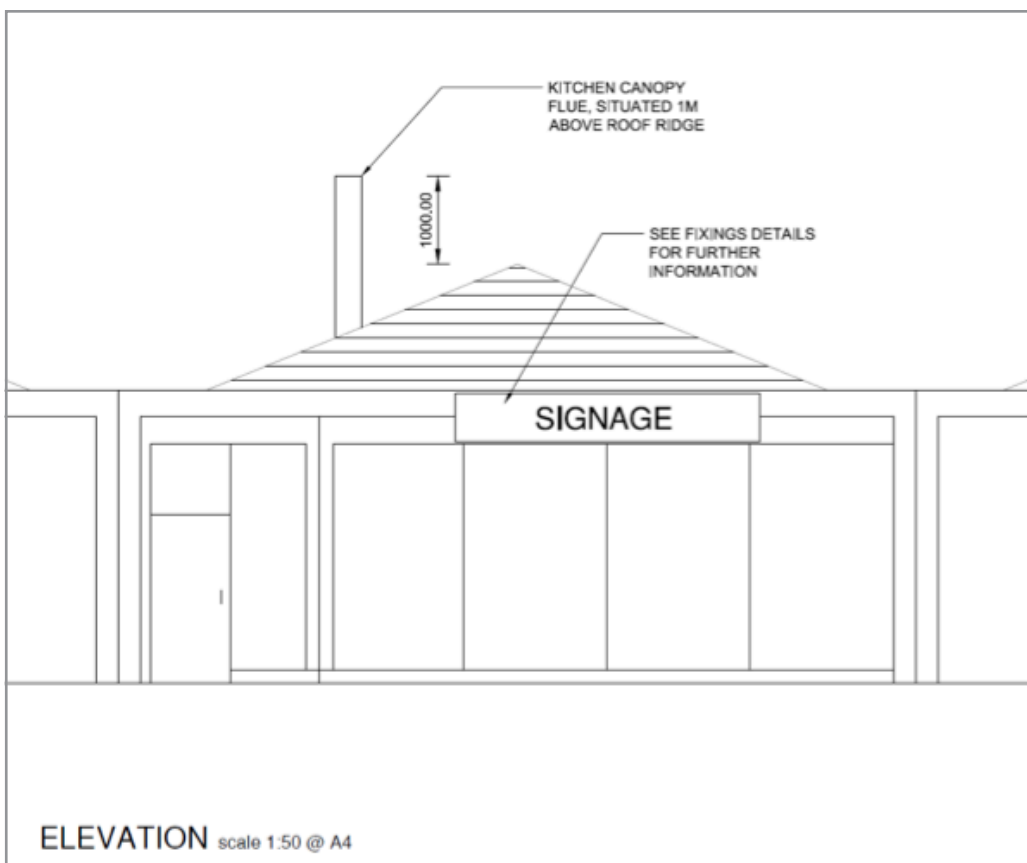
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Example Site Plan



Example Floor Plan



Example Elevation