

# Catalyst Sites

## Who should read this guide?

Anyone requiring further information about catalyst site provisions contained within the Adelaide (City) Development Plan.

## Purpose

The *Adelaide (City) Development Plan* allows sites 1,500m<sup>2</sup> or over, in certain zones, to be developed having regard to 'catalyst site' policies.

Catalyst sites provide opportunities for integrated developments on large sites and provide opportunities to increase the residential population of the City. Sites will be generally developed for housing, but may include a small amount of non-residential development such as cafes, restaurants or small scale shops.

Catalyst site provisions allow development on larger sites to be higher than would normally be allowed in each Zone. They are therefore likely to have a higher density than on surrounding sites.

Catalyst site policies were introduced into the *Development Plan* in 2012 through the Capital City Development Plan Amendment. They can be made up of either a single allotment or amalgamated allotments. The total site area must be 1,500m<sup>2</sup> or more.

As this is a guideline document, for the actual policies, refer to the *Development Plan*.

## Where does Catalyst Site policy apply?

Catalyst site policy applies in the following zones (also refer to maps on page 4):

- City Frame
- Institutional (St Andrews)
- Main Street zones of Adelaide, Hutt, O'Connell, Melbourne East and Melbourne West
- Mixed use (Melbourne West)
- City Living (PA 29 & 30)

## What are the Catalyst Site policies?

Catalyst policy in the various zones is generally the same, however there are a number of differences relating to the different purpose of the zones.

The following is the *Development Plan's* general approach for catalyst sites:

- Development of catalyst sites should be integrated, exemplify quality and contemporary design but can be greater in intensity than its surroundings.
- Catalyst sites should be comprised of medium to high scale residential development that is carefully integrated with non-residential development, typically at ground level.
  - Within the City Frame, Main Street and Institutional (St Andrews) Zones, catalyst sites may have a higher proportion of non-residential uses.
  - The *Development Plan* defines medium to high scale residential development as being of 4 or more storeys.
- Development of catalyst sites should manage the interface with adjacent residential zones with regard to intensity of use, overshadowing, massing, building proportions, overlooking, noise and traffic in order to minimise impact on residential amenity.
  - Within a residential type zone, the interface is with adjacent residential 'development' (not 'zones')
- The scale of development on a catalyst site should respond to its context, particularly the nature of adjacent land uses and interface treatments will be required to address impacts on sensitive uses.
- Within Main Street Zones, catalyst sites are to contribute to the streets vibrancy with activity and overlooking of the street, (particularly at ground and first floor), have narrow frontages, visual interest, vertical massing and above street level features which contribute to a rich visual interest.
- Quantitative standards that apply across the spatial area of a zone, such as height and plot ratio, do not apply on catalyst sites.

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## How do Catalyst Site Policies fit with other Development Plan policies?

Assessment of a development is in relation to the relevant provisions of the *Development Plan* as a whole.

The catalyst site policies in the *Development Plan* state 'Where there is an apparent conflict between catalyst site policies and Zone and Council Wide policies (including quantitative policies), the catalyst site policies take precedence'.

This means that where there might be policies on the same topic saying different things (e.g. either council wide provisions or zone provisions), the catalyst policies take 'precedence'. Conversely, where there is no policy saying different things, all policy that is relevant is to be taken into account in assessment.

## What is Context?

The catalyst site policies emphasise the importance of development responding to its context and incorporating interface treatments to address impacts on sensitive uses. Consequently, contextual design response is paramount and should drive the design philosophy and approach.

To gain support, development will need to clearly demonstrate how the context has set the foundation for the project and how the design team has responded.

The context of a development site is the land uses, buildings, spaces and movement patterns within the locality (both existing and as envisaged in the future, in particular as expressed in the relevant desired character statement).

As part of the assessment, information about the context should be provided outlining the locality's existing:

- Land uses, such as housing and any non-residential uses.
- Buildings, including footprints, heights and design, including heritage value.
- Spaces between buildings and what these are used for, including any notable trees and landscaping.
- Movement patterns, such as by foot, bike, car, public transport and deliveries.
- Any other key features of the locality.

This information should be provided to enable the proposal's potential impact on the 'context' to be firstly understood, and then assessed in terms of the proposed developments adequacy to address interface issues with any sensitive uses.

## What is Interface?

Development on a catalyst site needs to be designed to manage its 'interface' with nearby residential development in order to have minimal impact on residential amenity.

Whilst the *Development Plan* envisages medium to high scale residential development, it still needs to be neighbourly in how it relates to adjacent development. This is about its 'interface'.

The main potential impacts to be assessed are:

- intensity of use
- noise
- overshadowing
- overlooking
- massing
- building proportions
- traffic

Information demonstrating how the above factors are addressed in the proposed development in order to have minimal impact on residential amenity should be provided. Information should include:

- What uses are planned. If non-residential, operating hours and numbers of staff.
- How waste is to be removed, as this impacts recycling goals, the design of the building, and noise impacts.
- Envisaged movement arrangements, including access/egress points, car and bike parking. Building siting, height and external appearance, as this relates to massing and building proportions.
- Estimated overshadowing on the winter solstice (22 June) at 2 hour intervals starting at 9am and concluding at 3pm.
- How overlooking into neighbouring properties is to be minimised.

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Information should be provided that shows how the proposed building relates to existing adjacent sites, and the locality. Noting there are a wide variety of different ways of presenting information, the proponent should work with Council or State Commission Assessment Panel (SCAP) staff regarding how the information is presented.

## Will neighbours have opportunity to comment on a Development Application?

The following table sets out when multi-level development on catalyst site would be publicly notified.

Zone	Notified as Category 2
Main Street (O'Connell)	Above 22m in height south of Tynte Street. Above 12m in height north of Tynte Street.
Main Street (Adelaide)	Exceeds 22m in building height.
Main Street (Melbourne East & Hutt) Mixed Use (Melbourne West)	Exceeds two storeys in building height.
City Living	Exceeds one storey in building height.
City Frame	Above 36m in height south of Gilles and Gilbert Streets. Above 29m in height north of Gilles and Gilbert Streets.
Institutional (St Andrews)	Above 15m in height.

Non-complying development, such as the total demolition of a State Heritage place on a catalyst site, would be notified as Category 3.

For information about the various categories of notification, refer to the *Public Notification and Your Role* development information guide.

## Who assesses Development Applications on Catalyst Sites?

Developments greater in value than \$10M are determined by the State Commission Assessment Panel (SCAP). Under the *Development Regulations 2008*, these projects will be referred to the Government Architect for advice. The nature of these projects lend themselves to the pre-lodgement and design review process, case managed by the State Department of Planning, Transport and Infrastructure (DPTI).

Ancillary development in association with a multi-level building greater in value than \$10M is also determined by SCAP. This occurs up to the time the building receives a 'certificate of occupancy'.

Developments up to \$10M in value are determined by the Council Assessment Panel or Council staff under delegation.

## Other Considerations

Council provides information and services across a wide range of topics that are relevant to the development envisaged to occur on catalyst sites. For example:

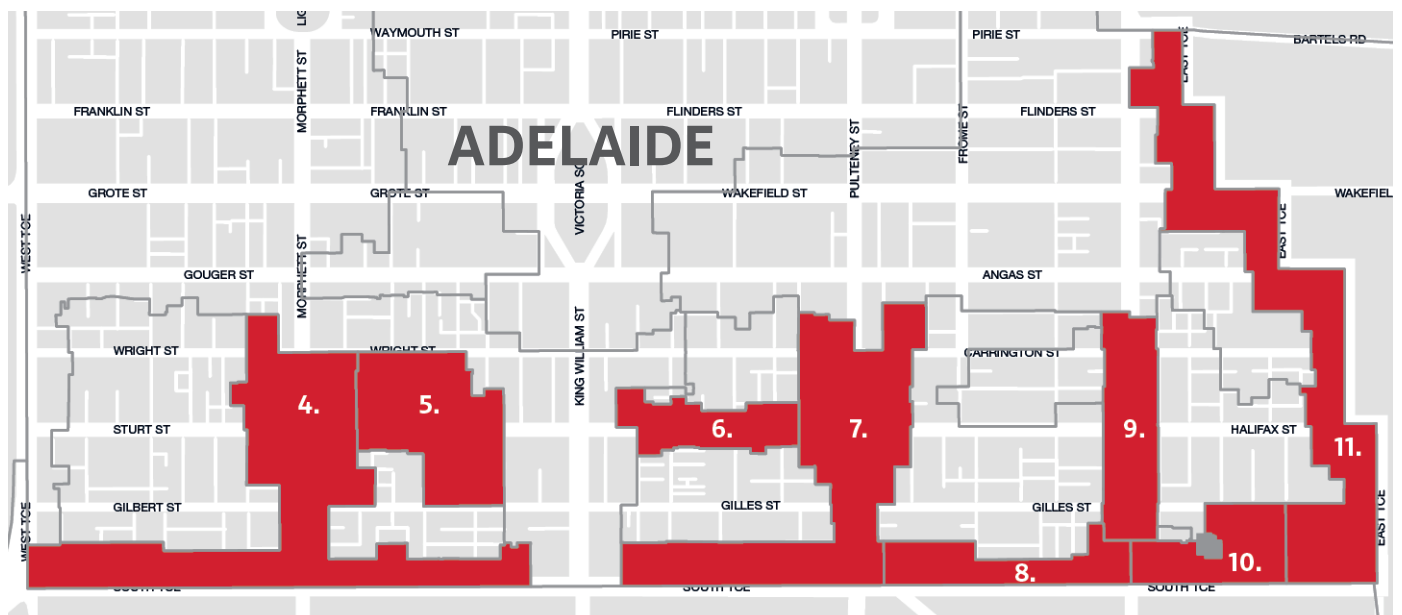
- Business development advice through Enterprise Adelaide
- Stormwater
- Waste services
- Incentives, such as noise, heritage, sustainability and public art

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## Further Information

For further information or to discuss your specific requirements, please contact Council's Development Assessment team on **08 8203 7185** or **d.planner@cityofadelaide.com.au**.

Or if your development is over \$10M, contact the State Commission Assessment Panel on **1800 752 664** (option 3) or **scapadmin@sa.gov.au** and/or Office of Design and Architecture SA on **08 8402 1884** or **odasa@sa.gov.au**.



Zones where Catalyst Site Policy Applies

### KEY:

1. Main Street (O'Connell)
2. Mixed Use (Melbourne West)
3. Main Street (Melbourne East)
4. City Frame
5. & 6. Main Street (Adelaide)
7. City Frame
8. City Living (PA 30)
9. Main Street (Hutt)
10. Institutional (St Andrews)
11. City Living (PA 29)